

Community Services Department
Planning and Building
DETACHED ACCESSORY DWELLING
ADMINISTRATIVE REVIEW
APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Vogel/Tate - Garage Addition			
Project Description: Addition to the west side of the Garage over the existing driveway. The existing Northern Deck will be converted to new heated floor area with existing roof above. Grading will be limited to new foundation for the Garage and improving driveway drainage to existing infiltration systems.			
Project Address: 865 Tyner Way, Incline Village, Nevada 89451			
Project Area (acres or square feet): New Construction 354 SF			
Project Location (with point of reference to major cross streets AND area locator): Tyner Way, Valerie Court.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
125-151-06	11,956 SF		
Indicate any previous Washoe County approvals associated with this application: Case No.(s). WBLD18-104754, 96-5730, 96-5730, 96-5115, 95-5521, 94-4833, 58533B			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Peter Vogel, Elfrieda Tate		Name: Smith Design Group, Dale E. Smith, AIA	
Address: GKV Cap. TA Mng. Co. 299 W. Hillcrest Dr. No. 119		Address: 120 Country Club Drive, No.17	
Thousand Oaks, Ca	Zip: 91360	Incline Village, Nv	Zip: 89451
Phone: (805) 497-2616	Fax:	Phone: (775) 831-7158	Fax:
Email: Pvogel@gkvcapital.com		Email: Studio@smithdesigngroup.com	
Cell: (805) 497-2616	Other:	Cell:	Other:
Contact Person: Peter Vogel		Contact Person: Peggy Colombo	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Peter Vogel, Elfrieda Tate		Name:	
Address: GKV Cap. TA Mng. Co. 299 W. Hillcrest Dr. No. 119		Address:	
Thousand Oaks, Ca	Zip: 91360		Zip:
Phone: (805) 497-2616	Fax:	Phone:	Fax:
Email: Pvogel@gkvcapital.com		Email:	
Cell: (805) 497-2616	Other:	Cell:	Other:
Contact Person: Peter Vogel		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

CALIFORNIA ALL-PURPOSE CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California }

County of Ventura }

On April 1st, 2023 before me, Kyra Law _____
(Here insert name and title of the officer)

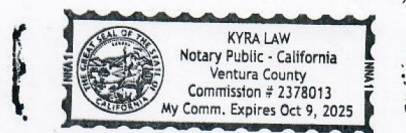
personally appeared Peter W. Vogel _____
 who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Kyra Law
 Notary Public Signature

(Notary Public Seal)



ADDITIONAL OPTIONAL INFORMATION

DESCRIPTION OF THE ATTACHED DOCUMENT
Property Owner
(Title or description of attached document)
affidavit
(Title or description of attached document continued)
 Number of Pages 1 Document Date 4/1/23

CAPACITY CLAIMED BY THE SIGNER

Individual (s)
 Corporate Officer

(Title)

Partner(s)
 Attorney-in-Fact
 Trustee(s)
 Other _____

INSTRUCTIONS FOR COMPLETING THIS FORM

- This form complies with current California statutes regarding notary wording and, if needed, should be completed and attached to the document. Acknowledgments from other states may be completed for documents being sent to that state so long as the wording does not require the California notary to violate California notary law.*
- State and County information must be the State and County where the document signer(s) personally appeared before the notary public for acknowledgment.
 - Date of notarization must be the date that the signer(s) personally appeared which must also be the same date the acknowledgment is completed.
 - The notary public must print his or her name as it appears within his or her commission followed by a comma and then your title (notary public).
 - Print the name(s) of document signer(s) who personally appear at the time of notarization.
 - Indicate the correct singular or plural forms by crossing off incorrect forms (i.e. he/she/they- is /are) or circling the correct forms. Failure to correctly indicate this information may lead to rejection of document recording.
 - The notary seal impression must be clear and photographically reproducible. Impression must not cover text or lines. If seal impression smudges, re-seal if a sufficient area permits, otherwise complete a different acknowledgment form.
 - Signature of the notary public must match the signature on file with the office of the county clerk.
 - ◊ Additional information is not required but could help to ensure this acknowledgment is not misused or attached to a different document.
 - ◊ Indicate title or type of attached document, number of pages and date.
 - ◊ Indicate the capacity claimed by the signer. If the claimed capacity is a corporate officer, indicate the title (i.e. CEO, CFO, Secretary).
 - Securely attach this document to the signed document with a staple.

**Administrative Review Permit Application
for a Detached Accessory Dwelling
Supplemental Information**

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

Existing Residence is 2,415 SF

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

Proposed Addition to Existing Residence, 421 SF

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

Addition to Existing Residence will match Existing Exterior Finishes and Colors

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

No Off Street Parking, No New Roadways, Driveways or Access Improvements Required.

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

Maintaining 15' Setback from Traveled Way

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please list the HOA name.
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8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please attach a copy. Open Space Easement. Public Utility Easement
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9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please provide information on the secondary unit.
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10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	Incline Village General Improvement District	Not Applicable
Electrical Service	NV Energy	Not Applicable
Solid Waste Disposal Service	Waste Management	Not Applicable
Water Service	Incline Village General Improvement District	Not Applicable

PRELIMINARY
 NOT FOR CONSTRUCTION

VOGEL
 RESIDENTIAL REMODEL/ADDITION FOR
 865 TYNER WAY
 INCLINE VILLAGE, NEVADA 89451
 WASHOE COUNTY, APN 125-151-06

DATE OF ISSUE: 08 MAY 2025
 ISSUED FOR: ADMINISTRATION PERMIT
 DRAWN BY: RVE
 CHECKED BY: AS INDICATED
 SCALE: AS INDICATED
 PROJECT NO.: 23.12.00

SHEET CONTENTS

EXISTING/DEMOLITION

PROJECT KEYNOTES

- 000000A NO KEYNOTES/SET
- PROVIDE TEMPORARY CONSTRUCTION SET BEST MANAGEMENT PRACTICES (BMP'S), INCLUDING VEGETATION PROTECTION FENCING, BOUNDARY FENCING, EROSION CONTROL MATS, AND SLOTTED CURBS AS REQUIRED BY TRPA FIELD INSPECTOR.
 - THE TRPA VOLUME II, HANDBOOK OF BEST MANAGEMENT PRACTICES (BMP'S) IS TO BE USED FOR THE LAKESHORE BASIN. THE USE OF STRAW BALES HAVE CONTRIBUTED TO THE SPREAD OF NOXIOUS WEEDS ALTERNATIVES TO STRAW BALES, SUCH AS PINE NEEDLE BALES, FILTER FABRIC, COLLINGS AND PINE NEEDLE OR OTHER ALTERNATIVES FOR EROSION CONTROL, PURPOSES ARE REQUIRED.
 - CONTRACTOR SHALL INSPECT AND REPLACE TEMPORARY CONSTRUCTION SITE BMP'S DAMAGED DURING THE COURSE OF WORK.
 - THE CONTRACTOR SHALL CONFINE WORK AND MATERIAL STORAGE TO DRIVEWAY AND RESIDENCE AND SHALL USE EROSION CONTROL MATS TO PROTECT EXISTING NATURAL GROUND COVER FROM DAMAGE DURING CONSTRUCTION.
 - NO CUT OR OTHER EROSION CONTROL MEASURES SHALL BE IMPLEMENTED WITH ROCK RIPRAP IN ACCORDANCE WITH TRPA VOLUME II, HANDBOOK OF BEST MANAGEMENT PRACTICES.
 - ALL CLEARED, GRADED OR AREAS DISTRUBEE BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH TRPA VOLUME II, HANDBOOK OF BEST MANAGEMENT PRACTICES.

SITE PROTECTION NOTES

- PROVIDE TEMPORARY CONSTRUCTION SET BEST MANAGEMENT PRACTICES (BMP'S), INCLUDING VEGETATION PROTECTION FENCING, BOUNDARY FENCING, EROSION CONTROL MATS, AND SLOTTED CURBS AS REQUIRED BY TRPA FIELD INSPECTOR.
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VEGETATION MANAGEMENT PLAN

- DEFENSIBLE SPACE EVALUATION CAN BE ARRANGED THROUGH THE FIRE DISTRICT BY CONTACTING CONTACT APPOINTMENT AT (775) 833-8107 TO SCHEDULE AN APPOINTMENT.
- EVALUATIONS ARE ONLY CONDUCTED SEASONALLY AFTER THE NEXT STEP IN WILDFIRE ADAPTED COMMUNITIES. THE NEXT STEP IN WILDFIRE ADAPTED COMMUNITIES IS TO CONDUCT AN ONSET OF WILDFIRE HAZARD VEGETATION IDENTIFIED TIME FRAME SURVEY MUST BE REMOVED WITHIN A SPECIFIED TIME FRAME FOLLOWING THE SURVEY.
- FOR MORE INFORMATION, SEE THE PUBLICATION "FIRE ADAPTED COMMUNITIES: THE NEXT STEP IN WILDFIRE ADAPTED COMMUNITIES" FROM THE DIVISION OF FORESTRY AND NORTH LAKE TAHOE FIRE PROTECTION DISTRICT, 2018. A DEFENSIBLE SPACE INSPECTION IS REQUIRED AND 182.4 DEFENSIBLE SPACE INSPECTION IS REQUIRED AND WILDLAND VEGETATION. ALL ITEMS NOTED DURING INSPECTION MUST BE CORRECTED PRIOR TO PERMIT CLOSEOUT.
- THIS INFORMATION DOES NOT REPRESENT AN INTERPRETATION OF ANY TRPA CODE OR ORDINANCE.
- ESTABLISH AND MAINTAIN DEFENSIBLE SPACE INCLUDING BUT NOT LIMITED TO THE TRPA VOLUME II, HANDBOOK OF BEST MANAGEMENT PRACTICES (BMP'S) WITH AMENDMENTS IN NLTPO RESOLUTIONS 181 AND 182. A DEFENSIBLE SPACE INSPECTION IS REQUIRED AND 182.4 DEFENSIBLE SPACE INSPECTION IS REQUIRED AND WILDLAND VEGETATION. ALL ITEMS NOTED DURING INSPECTION MUST BE CORRECTED PRIOR TO PERMIT CLOSEOUT.

AS-BUILT BMP'S

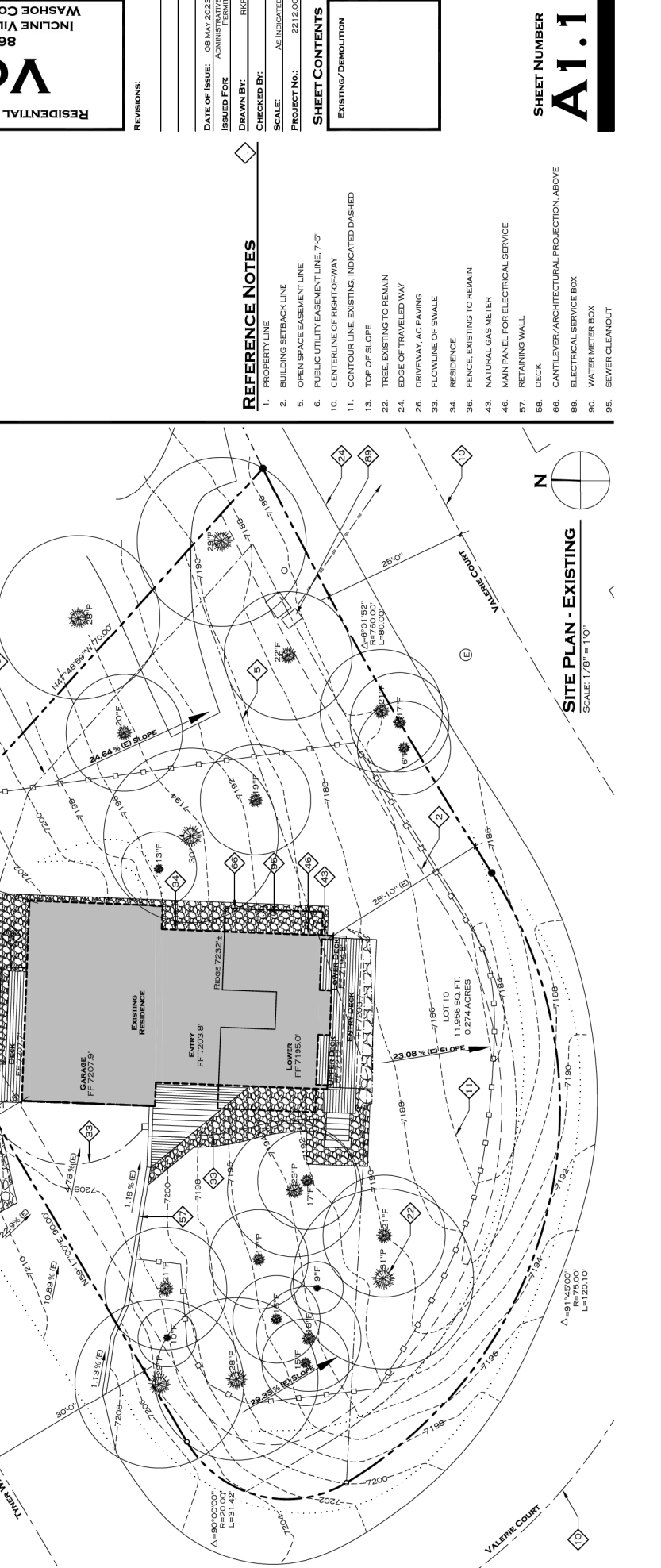
- AS-BUILT BMP'S ARE SHOWN WITH THE FOLLOWING SYMBOLS:
- INDICATES AREAS OF EXISTING BMP GRAVEL ON-GROUND
 - AS-BUILT INFILTRATION TRENCHES ARE UNVERIFIED. SIZES SHOWN ARE APPROXIMATE. PER FIELD CONDITIONS, AS-BUILT DEPTH CANNOT BE VERIFIED WITHOUT DAMAGING EXISTING INFILTRATION TRENCH SYSTEM.

VEGETATION MANAGEMENT PLAN

- REMOVE ALL DEAD VEGETATION, INCLUDING TREE BRUSH AND OTHER VEGETATION.
- BRUSH BRUSH TRUNKS HORIZONTALLY A MINIMUM DISTANCE EQUAL TO OR GREATER THAN TWICE THE HEIGHT OF THE BRUSH WITHIN THE THIRTY FOOT (30') TO ONE HUNDRED FIFTY FOOT (150') DEFENSIBLE SPACE. BRUSH PLANTS CANNOT EXCEED A MAXIMUM HEIGHT OF 10.00 (3.00 FT.) IN AREA AND THREE FEET (3') IN HEIGHT.
- THIN TREES TO CREATE AN AVERAGE CROWN SPACING OF AT LEAST TEN FEET (10') WITH ONE HUNDRED AND FIFTY FEET (150') OF A STRUCTURE. TREES ADJACENT TO A STRUCTURE SHALL BE THIN TO THE STRUCTURE. TREES GROUPED CLOSE ENOUGH TO THE STRUCTURE TO BE THIN TO THE STRUCTURE SHALL BE THIN TO THE STRUCTURE. ONE CROWN SPACING MAY BE MODIFIED BY THE FIRE DISTRICT FORESTER OR CODE OFFICIAL BASED ON SITE CONDITIONS.
- REMOVE ALL BRUSH, TREES, AND FLAMMABLE MATERIALS WITHIN THE DEFENSIBLE SPACE. BRUSH AND TREE GROUPINGS SHALL BE REMOVED TO THE FOUNDATION OR SUPPORT POSTS OF ANY PART OF THE STRUCTURE OR AN OUTBUILDING.
- LIMIT VEGETATION TO SINGLE, WELL-SPACED SPECIMEN PLANTS WITHIN THE FIVE FOOT (5') TO THIRTY FOOT (30') DEFENSIBLE SPACE. VEGETATION SHALL BE THIN AND MAINTAINED TO THE EXTENT THAT IT CANNOT TRANSFER FIRE TO THE STRUCTURE OR OTHER VEGETATION, CLOSEOUT.

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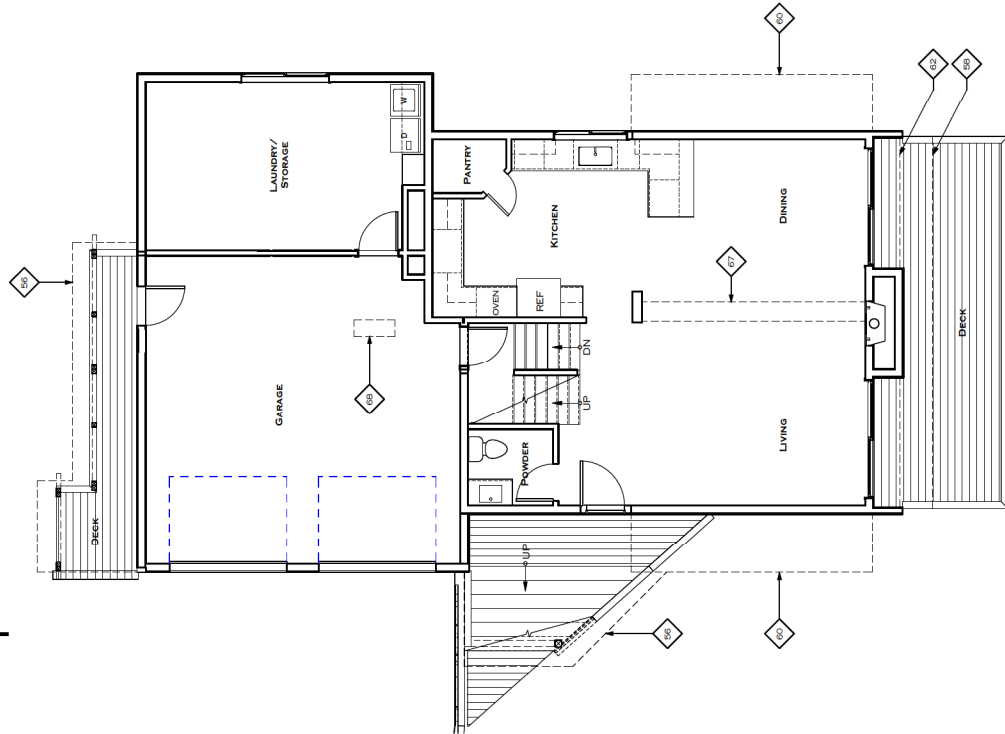
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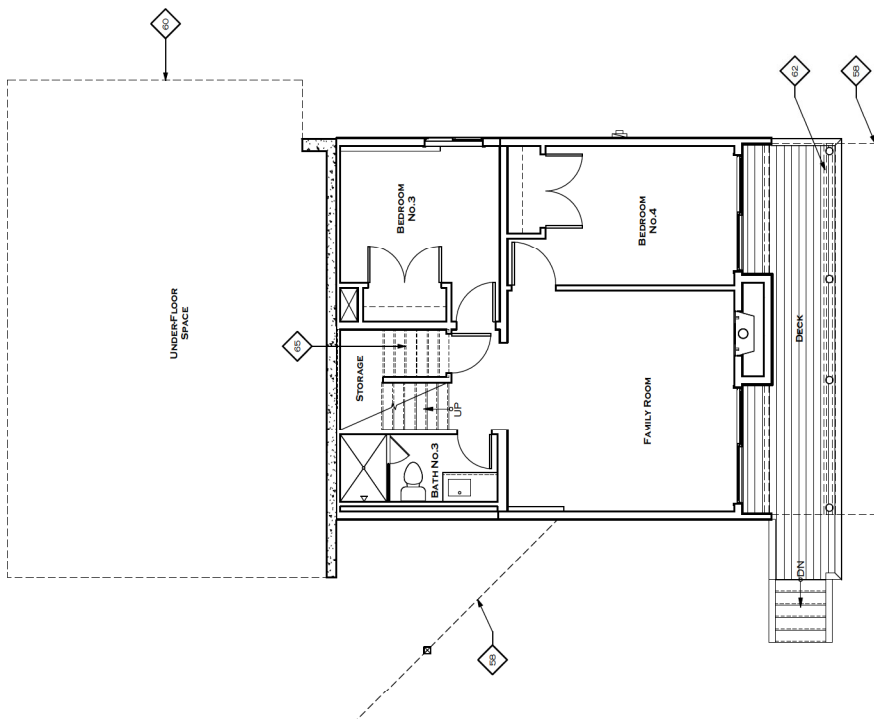
PROJECT KEYNOTES

REFERENCE NOTES

- 56 ROOF ABOVE
- 57 ROOF BELOW
- 58 ROOF ABOVE, EXISTING TO REMAIN
- 59 FLOOR ABOVE
- 60 FLOOR BELOW
- 61 STAIRWAY ABOVE
- 62 STAIRWAY BELOW
- 63 SOFFIT ABOVE
- 64 ATTIC ACCESS, ABOVE
- 65 EXISTING/NATURAL GRADE, APPROXIMATE LIMITS
- 66
- 67
- 68
- 69
- 70
- 71
- 72
- 73
- 74
- 75
- 76
- 77
- 78
- 79



ENTRY LEVEL - EXISTING PLAN
 SCALE: 1/4" = 1'-0"
 768 SF



LOWER LEVEL - EXISTING PLAN
 SCALE: 1/4" = 1'-0"
 LOWER LEVEL: 748 SF
 ENTRY LEVEL: 768 SF
 UPPER LEVEL: 919 SF
 TOTAL: 1435 SF
 GARAGE/STORAGE: 115 SF

SELECTIVE DEMOLITION NOTES

- A. OWNER WILL MAINTAIN ACCESS TO ALL ADJACENT TO SELECTIVE DEMOLITION AREA. CONDUCT SELECTIVE DEMOLITION SO OWNERS' OPERATIONS WILL NOT BE INTERRUPTED FOR MORE THAN 72 HOURS IN ADVANCE OF ACTIVITIES THAT WILL AFFECT OWNERS' OPERATIONS.
- B. CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSE WILL BE MAINTAINED BY OWNER AS FAR AS PRACTICAL.
- C. NOTIFY ARCHITECT OF DISCREPANCIES BETWEEN DRAWINGS AND CONDITIONS AS NOTED BY CONTRACTOR BEFORE PROCEEDING WITH SELECTIVE DEMOLITION.
- D. STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS ON-SITE IS NOT PERMITTED.
- E. SELECTIVE DEMOLITION: DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. SEE CONSTRUCTION PERMIT FOR ANY OTHER REQUIREMENTS FOR OTHER REQUIRED SELECTIVE DEMOLITION.

PROJECT KEYNOTES

- F. WHEN MAINTAINING STRUCTURAL ELEMENTS, IDENTIFY OR RELOCATE OR ABANDONED. LOCATE, IDENTIFY, AND REMOVE ALL MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED. IF SERVICES/SYSTEMS ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE TEMPORARY BRACING AND SHORING TO MAINTAIN CONTINUITY OF DEMOLITION AND THAT MAINTAIN CONTINUITY OF SERVICES/SYSTEMS TO OTHER PARTS OF BUILDING.
- G. EXISTING SERVICES (SEWER, GAS, WATER, MAIN, PLUMBING, ETC.) SERVICES/SYSTEMS NOT INDICATED TO BE REMOVED AND PROTECT THEM AGAINST DAMAGE.
- H. EXISTING SERVICES/SYSTEMS TO BE REMOVED, RELOCATED, OR ABANDONED. LOCATE, IDENTIFY, AND REMOVE ALL MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED. IF SERVICES/SYSTEMS ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE TEMPORARY BRACING AND SHORING TO MAINTAIN CONTINUITY OF DEMOLITION AND THAT MAINTAIN CONTINUITY OF SERVICES/SYSTEMS TO OTHER PARTS OF BUILDING.
- I. SITE ACCESS AND TEMPORARY FACILITIES. CONDUCT SELECTIVE DEMOLITION AND DEBRIS REMOVAL OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, OCCUPIED AND USED FACILITIES.
- J. TEMPORARY FACILITIES, PERMITS, TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT FACILITIES TO REMAIN. PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN SELECTIVE DEMOLITION AND NEW CONSTRUCTION TO PREVENT WATER LEAKAGE AND DAMAGE TO STRUCTURE AND INTERIOR SURFACES AND NEW CONSTRUCTION. PROVIDE TEMPORARY BRACING AND EQUIPMENT THAT HAVE NOT BEEN REMOVED.
- K. TEMPORARY SHORING, BRACING AND MAINTAIN SHORING BRACING AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.

REFERENCE NOTES

- M. EXISTING MATERIALS TO REMAIN. RESISTANT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND COLLAPSE DURING SELECTIVE DEMOLITION. WHEN PERMITTED BY ARCHITECT, CONTRACTOR SHALL MAINTAIN PROTECTED STORAGE LOCATION DURING SELECTIVE DEMOLITION AND CLEANED AND REINSTALLED IN THEIR OPERATIONS ARE COMPLETE.
- N. DISPOSAL OF DEMOLISHED MATERIALS. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE RECYCLED, REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN, ALL DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM.
- O. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY SELECTIVE DEMOLITION. CONTRACTOR SHALL MAINTAIN CONDITION EXISTING BEFORE SELECTIVE DEMOLITION OPERATIONS BEGIN.

S M I T H
encl@smithdesigngroup.com
DESIGN
planning
GROUP
 120 COUNTY CLUB DRIVE NO.17
 RICHLAND WASHINGTON 99401
 TEL 775.831.7198
 www.smithdesigngroup.com

PRELIMINARY
 NOT FOR CONSTRUCTION

VOGEL
 865 TYNER WAY
 INCLINE VILLAGE, NEVADA 89451
 WASHOE COUNTY, APN 125-151-06

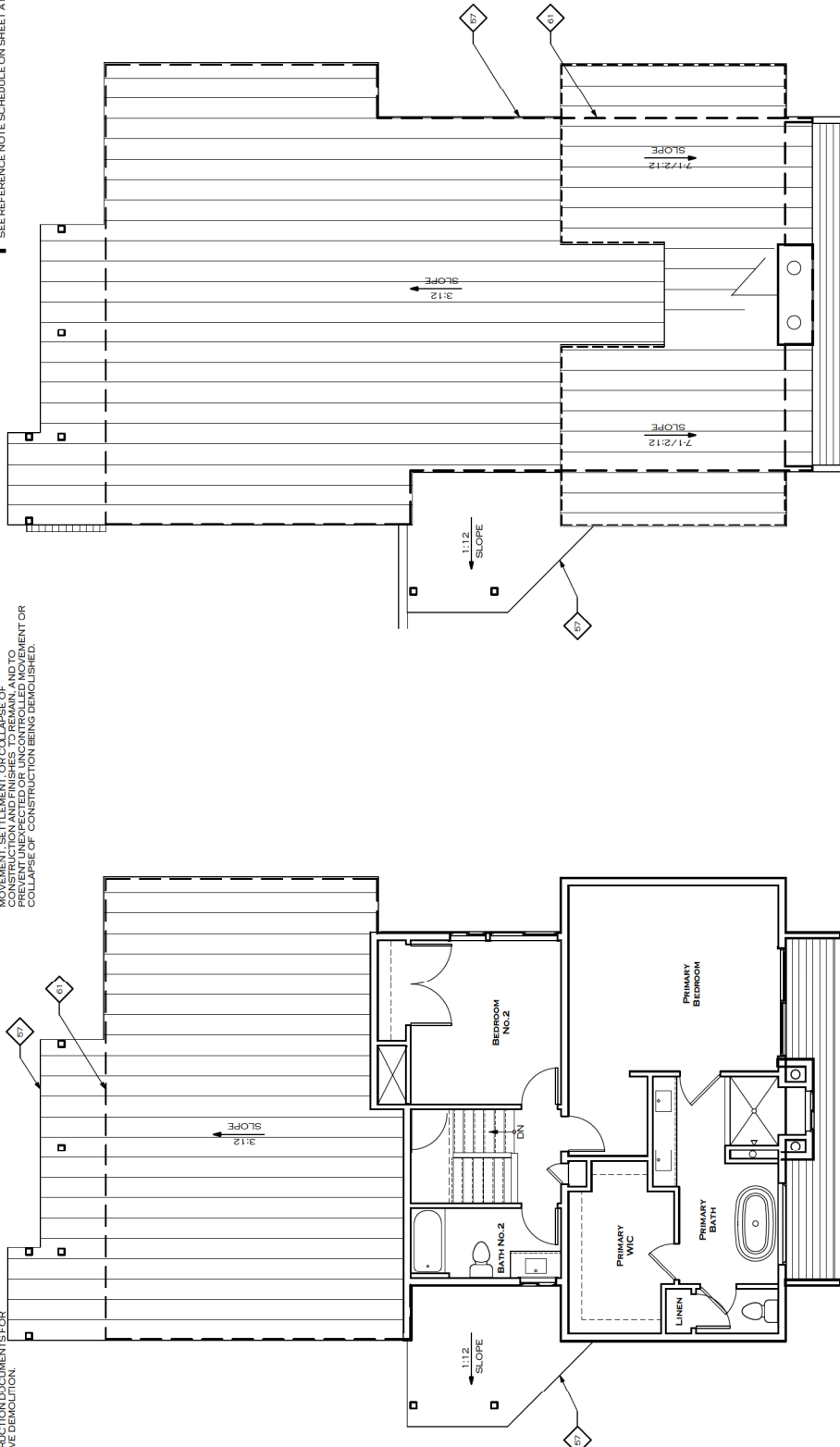
A RESIDENTIAL REMODEL/ADDITION FOR

REVISIONS:

DATE OF ISSUE	09 MAY 2023
ISSUED FOR:	ADMINISTRATIVE PERMIT
DRAWN BY:	SDG
CHECKED BY:	SDG
SCALE:	AS INDICATED
PROJECT NO.:	211002

SHEET CONTENTS

UPPER LEVEL AND ROOF - EXISTING/DIMLUTION PLAN
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UPPER LEVEL - EXISTING PLAN
 SCALE: 1/4" = 1'-0"
 899 SF

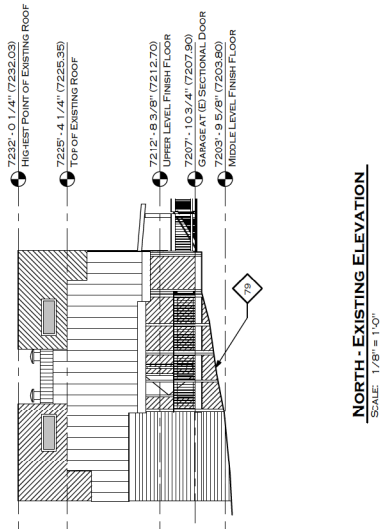
ROOF PLAN - EXISTING
 SCALE: 1/4" = 1'-0"

SHEET NUMBER
A1.5

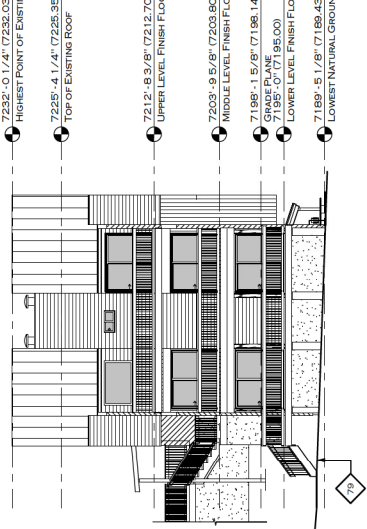
REVISIONS:

DATE OF ISSUE: 08 MAY 2023
 ISSUED FOR: ADMINISTRATION PERMIT
 DRAWN BY: SDG
 CHECKED BY: SDG
 SCALE: 1/8" = 1'-0"
 PROJECT NO.: 2110002

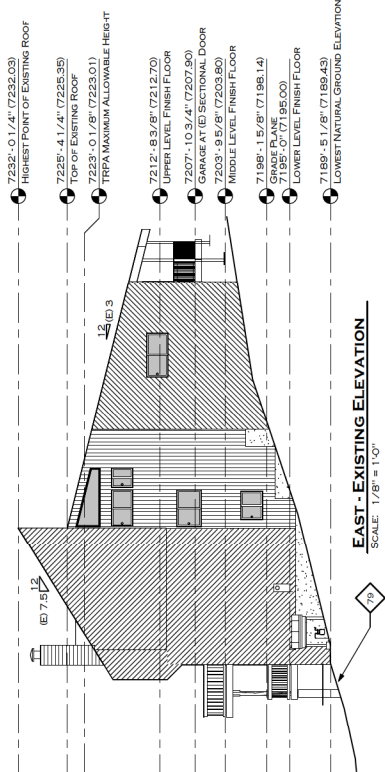
SHEET CONTENTS
 EXTERIOR ELEVATIONS -
 EXISTING



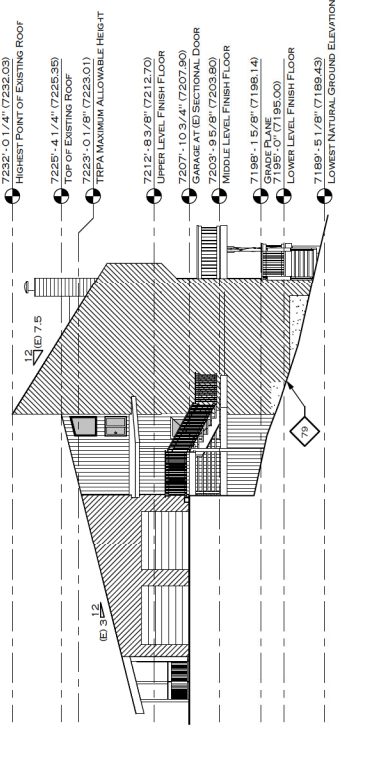
NORTH - EXISTING ELEVATION
 SCALE: 1/8" = 1'-0"



SOUTH - EXISTING ELEVATION
 SCALE: 1/8" = 1'-0"



EAST - EXISTING ELEVATION
 SCALE: 1/8" = 1'-0"



WEST - EXISTING ELEVATION
 SCALE: 1/8" = 1'-0"



WEST - EXISTING ELEVATION



SOUTH - EXISTING ELEVATION



EAST - EXISTING ELEVATION



NORTH - EXISTING ELEVATION

REFERENCE NOTES

SEE REFERENCE NOTE SCHEDULE ON SHEET A1.4

DIMENSION NOTES

- A. DIMENSIONS SHOWN ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
- B. EXAMINE BUILDING REQUIREMENTS FOR APPLIANCES, MECHANICAL AND ELECTRICAL SYSTEMS TO VERIFY ACTUAL LOCATIONS OF CONNECTIONS BEFORE EQUIPMENT AND FEATURE INSTALLATION.
- C. DO NOT SCALE DRAWINGS. QUESTIONS REGARDING DIMENSIONS SHOULD BE REFERRED TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- D. DIMENSIONS SHOWN ARE TO FACE OF FRAMING OR FACE OF FOUNDATION WALL/CONCRETE MASONRY UNIT.

PROJECT KEYNOTES

PRELIMINARY
NOT FOR CONSTRUCTION

S M I T H
architects
DESIGN
planning
GROUP
120 COUNTRY CLUB DRIVE NO. 17
RICHIE HILL, NEVADA 89451
TEL 775.831.7158
www.smithdesigngroup.com

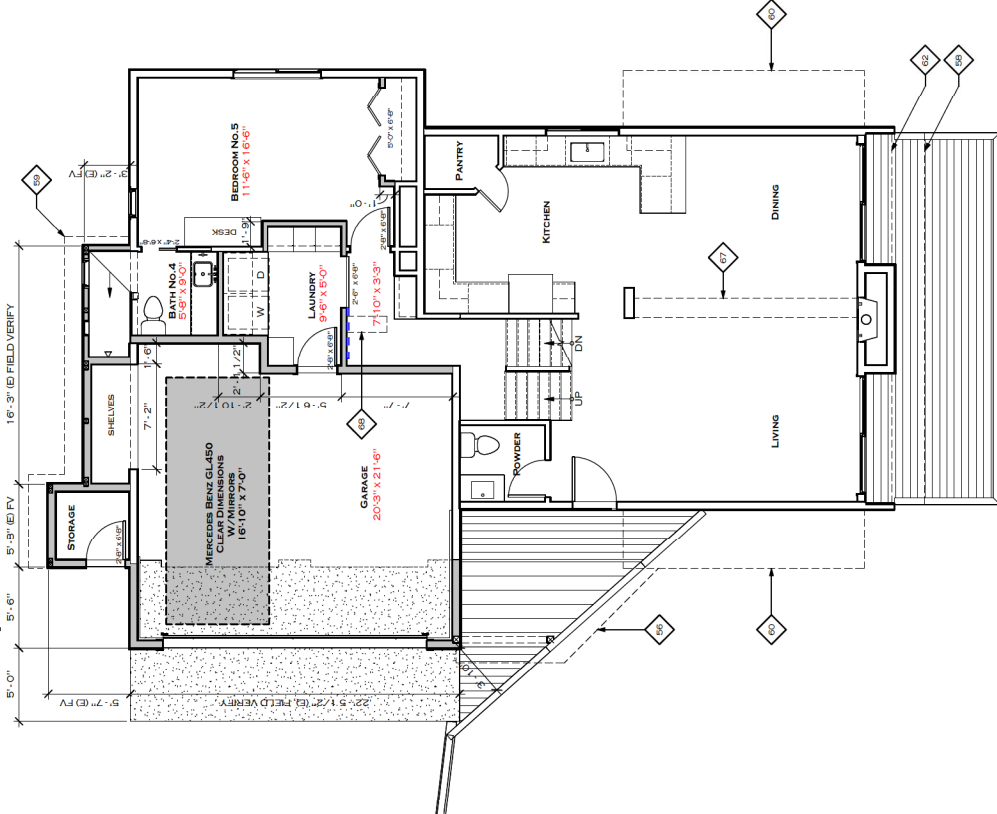
VOGEL
A RESIDENTIAL REMODEL/ADDITION FOR
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WASHOE COUNTY, APN 125-151-06

REVISIONS:

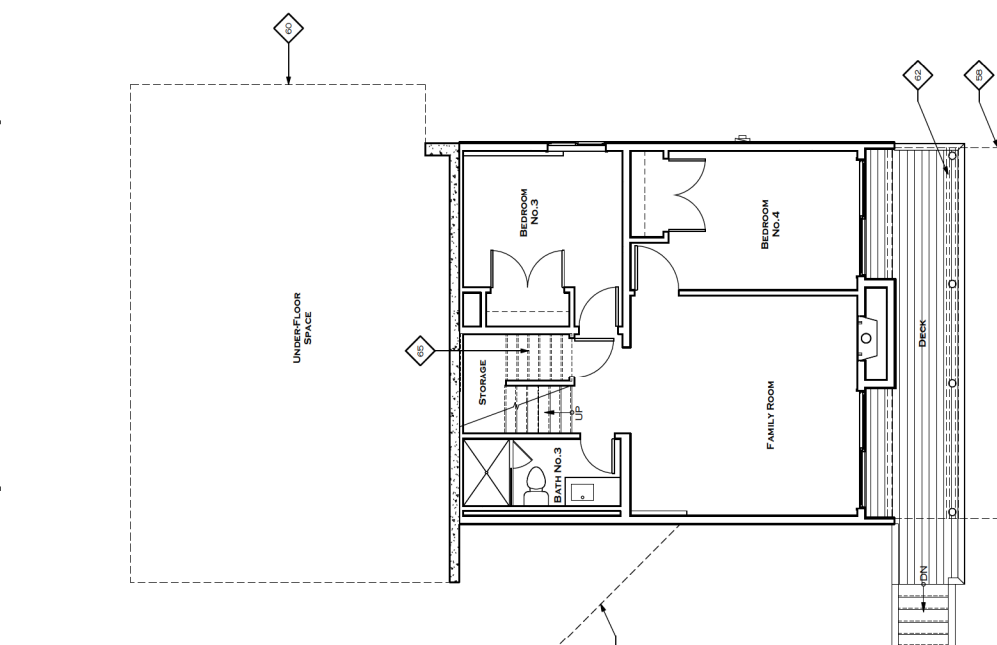
DATE OF ISSUE: 09 MAY 2023
ISSUED FOR: ADMINISTRATION PERMIT
DRAWN BY: SDG
CHECKED BY: SDG
SCALE: AS INDICATED
PROJECT NO.: 2110002

SHEET CONTENTS
LOWER AND ENTRY LEVEL -
DIMENSION/INFORMATION PLAN

SHEET NUMBER
A2.1



ENTRY LEVEL - DIMENSION/INFORMATION PLAN
SCALE: 1/4" = 1'-0"
766 SF



LOWER LEVEL - DIMENSION/INFORMATION PLAN
SCALE: 1/4" = 1'-0"
LOWER LEVEL: 748 SF
ENTRY LEVEL: 1,189 SF
UPPER LEVEL: 2,859 SF
TOTAL: 4,796 SF
GARAGE/STORAGE: 501 SF

PROJECT KEYNOTES

S M I T H
architecture
DESIGN
planning
GROUP
 120 COUNTRY CLUB DRIVE NO.17
 RICHIE HILLMAN, NEVADA 89451
 TEL: 775.831.7158
 www.smithdesigngroup.com

REFERENCE NOTES
 SEE REFERENCE NOTE SCHEDULE ON SHEET A1.4

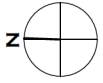
PRELIMINARY
 NOT FOR CONSTRUCTION

VOGEL
 A RESIDENTIAL REMODEL/ADDITION FOR
 865 TYNER WAY
 INCLINE VILLAGE, NEVADA 89451
 WASHOE COUNTY, APN 125-151-06

REVISIONS:

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SHEET CONTENTS
 UPPER LEVEL AND ROOF -
 DIMENSION/INFORMATION PLAN

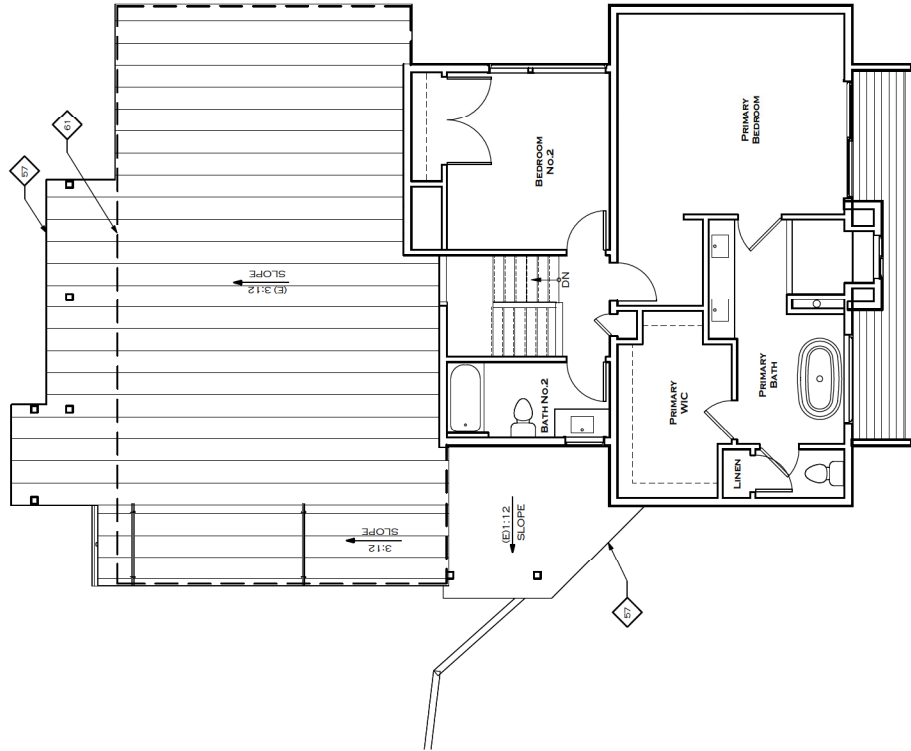
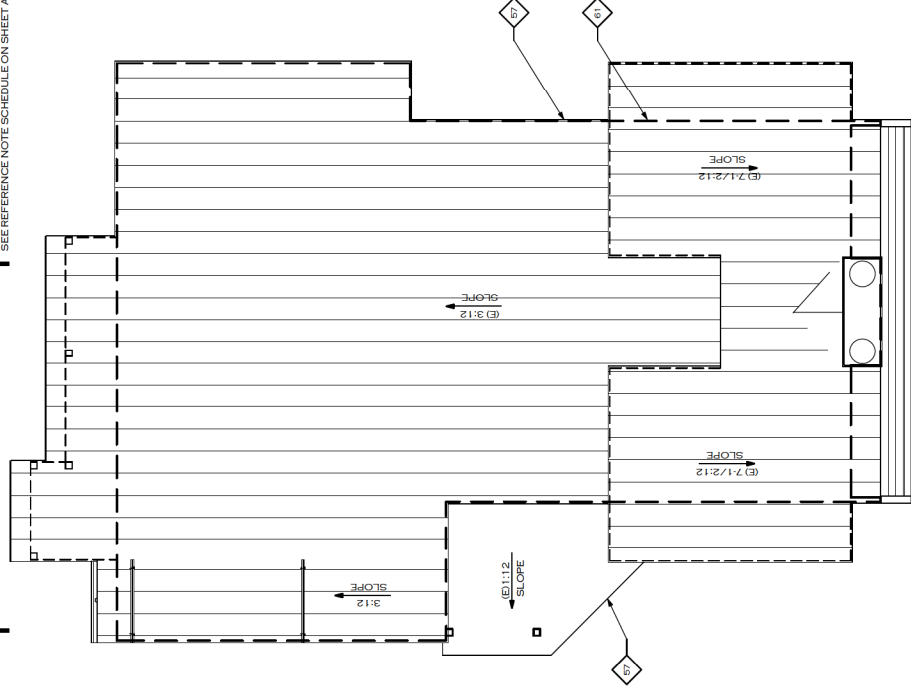


SHEET NUMBER

A2.2

ROOF PLAN
 SCALE: 1/4" = 1'-0"

UPPER LEVEL - DIMENSION/INFORMATION PLAN
 SCALE: 1/4" = 1'-0"
 899 SF

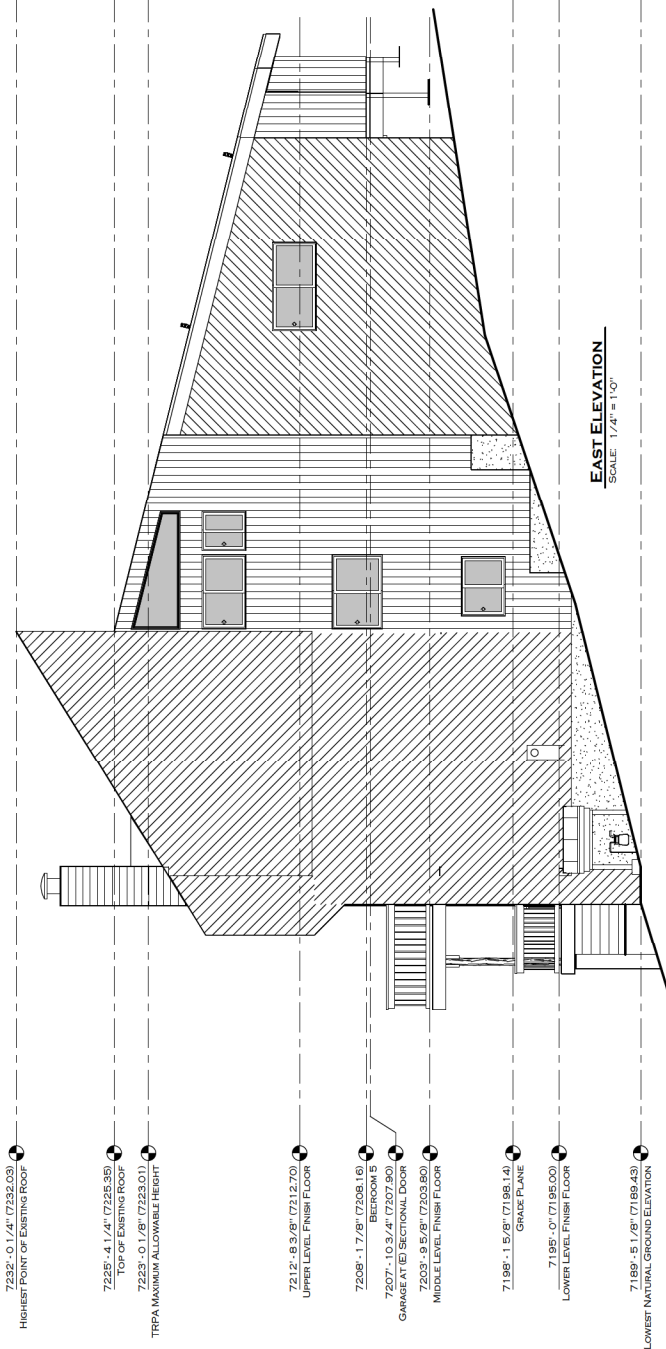


PROJECT KEYNOTES

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INCLINE VILLAGE, NEVADA 89451
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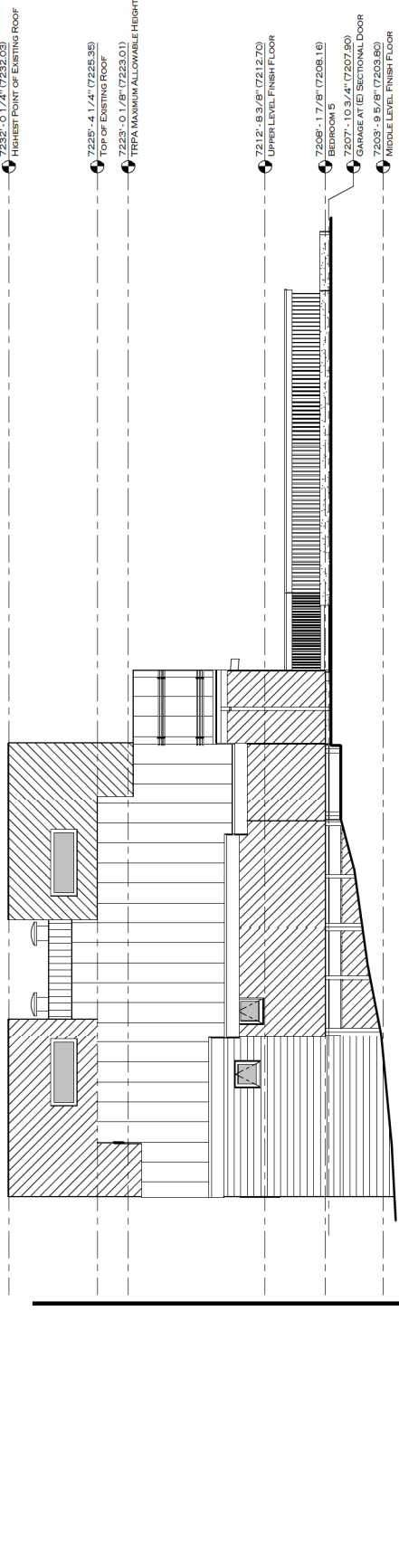
A RESIDENTIAL REMODEL/ADDITION FOR



TRPA HEIGHT CALC.

PERCENT CROSS SLOPE	30%
RETAINED ACHROSE BUILDING SITE	3:12
PROPOSED ROOF PITCH	33° 7'
MAXIMUM HEIGHT (TRPA CODE ORDINANCES, CHAPTER 37, TABLE 37.4.1.1)	0' 0"
HEIGHT OF EXISTING STRUCTURE	0' 0"
PROPOSED HEIGHT OF ADDITION	0' 0"
LOWEST NATURAL GROUND ELEVATION	71.189.43'

EAST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

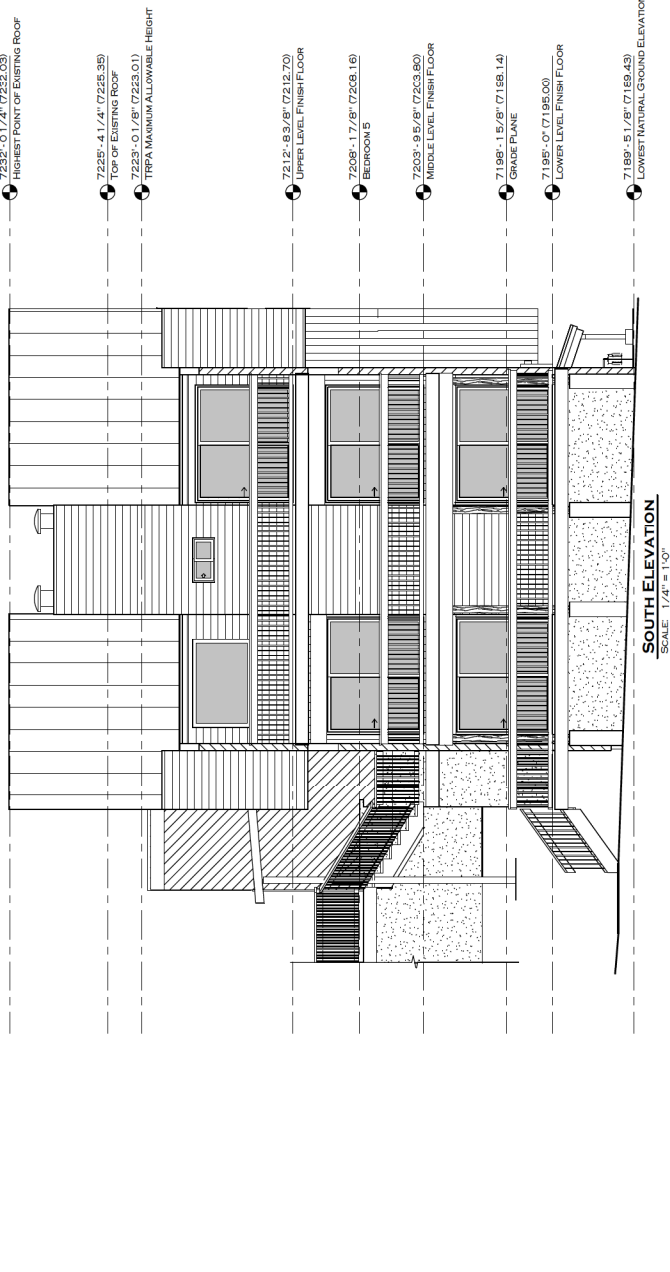
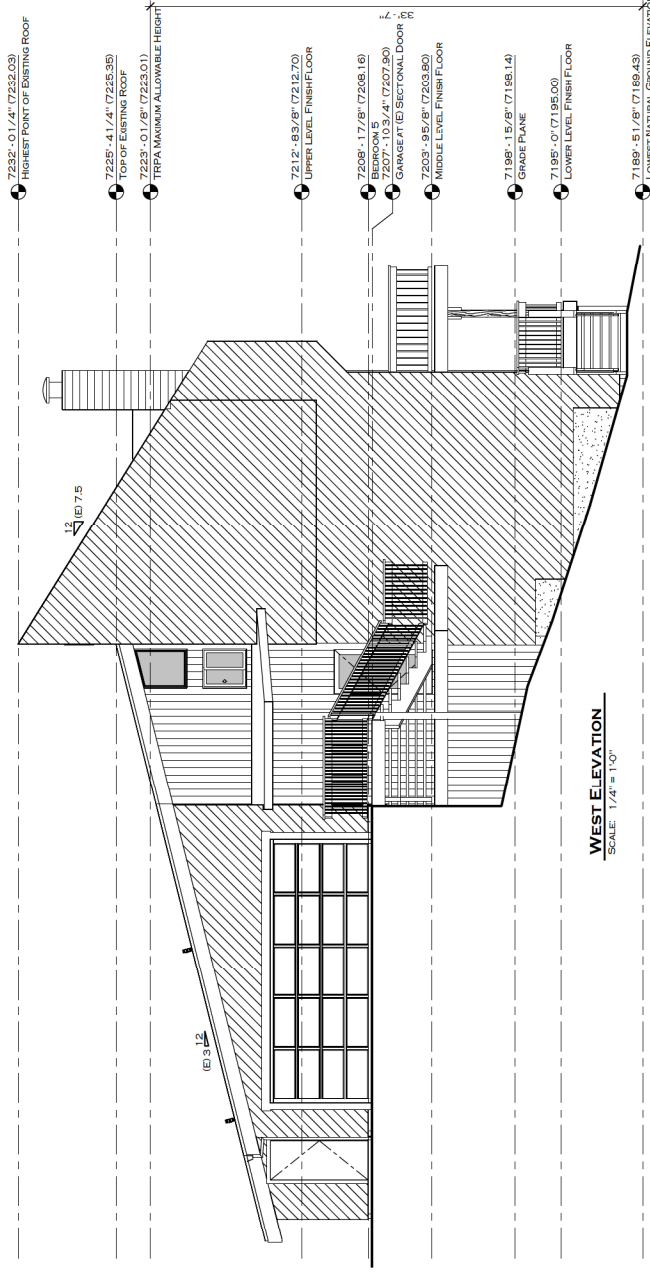
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PROJECT NO.:	2110002

SHEET CONTENTS

EXTERIOR ELEVATIONS

PROJECT KEYNOTES



PROJECT KEYNOTES
 000003A NOT KEYNOTES SET

SITE PROTECTION NOTES

- PROVIDE TEMPORARY CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (BMP) TO PREVENT VEGETATION PROTECTION FENCING, BOUNDARY FENCING AND FILTER PAPER SEDIMENT BARRIERS AS INDICATED AND AS REQUIRED BY TRPA FIELD INSPECTOR.
- NOTE: STRAW BALES ARE NO LONGER ACCEPTABLE FOR EROSION CONTROL. THE USE OF STRAW BALES HAVE CONTRIBUTED TO THE SPREAD OF NOXIOUS WEEDS THROUGHOUT THE STATE. THE USE OF STRAW BALE NEEDLE ALTERNATIVES TO STRAW BALE, SUCH AS PINE NEEDLE BALES, FILTER FABRIC, COIL LOGS AND PINE NEEDLE OR WOOD MULCHES FOR EROSION CONTROL PURPOSES IS REQUIRED.
- CONTRACTOR SHALL INSPECT AND REPLACE TEMPORARY BMP'S DAMAGED DURING THE COURSE OF WORK.
- THE CONTRACTOR SHALL CONFINE WORK AND MATERIAL STORAGE TO DRIVEWAY AND RESIDENCE AND SHALL USE ALL MEANS NECESSARY TO PROTECT TREES AND NATURAL GROUND COVER FROM DAMAGE DURING CONSTRUCTION.
- ALL CUT OR FILL SLOPES GREATER THAN 2:1 ARE TO BE REVEGETATED WITH APPROPRIATE SPECIES AS LISTED IN TRPA VOLUME II, HANDBOOK OF BEST MANAGEMENT PRACTICES.
- ALL CLEARED, GRADED OR AREAS DISTRIBUTED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA VOLUME II, HANDBOOK OF BEST MANAGEMENT PRACTICES.

VEGETATION MANAGEMENT PLAN

- A DEFENSIBLE SPACE EVALUATION CAN BE ARRANGED BY CONTACTING A NEVADA REGISTERED LANDSCAPE ARCHITECT OR TRPA FIELD INSPECTOR AT (775) 833-8348 OR TO SCHEDULE AN APPOINTMENT.
- EVALUATIONS ARE ONLY CONDUCTED SEASONALLY AFTER ALL SNOW COVER HAS MELTED AND PRIOR TO THE ONSET OF THE GROWING SEASON. THE TRPA FIELD INSPECTOR'S SURVEY MUST BE REMOVED WITHIN A SPECIFIED TIME FRAME FOLLOWING THE SURVEY.
- FOR MORE INFORMATION, SEE THE "PUBLICATION" FIRE ADAPTED COMMUNITIES: THE NEXT STEP IN WILDFIRE PREPAREDNESS PRODUCED IN ASSOCIATION WITH THE NEVADA FIRE SERVICE AND THE NEVADA FIRE PROTECTION FORESTRY, AND NORTH LAKE TAHOE FIRE PROTECTION DISTRICT. COPIES ARE AVAILABLE IN THE FIRE DISTRICTS' OFFICES.
- FIRE'S "GUIDELINES FOR CREATING DEFENSIBLE SPACE" AT WWW.LIVINGSWITHFIRE.INFO/74HOE
- THIS INFORMATION DOES NOT REPRESENT AN INTERPRETATION OF ANY TRPA CODE OR ORDINANCE.
- ESTABLISH AND MAINTAIN DEFENSIBLE SPACE SURROUNDING STRUCTURES IN ACCORDANCE WITH THE TRPA VOLUME II, HANDBOOK OF BEST MANAGEMENT PRACTICES (BMP) WITH AMENDMENTS IN TRPA RESOLUTIONS 181 AND 182. A DEFENSIBLE SPACE INSPECTION IS REQUIRED PRIOR TO CONSTRUCTION OF ANY STRUCTURE AND ALL ITEMS NOTED DURING THE INSPECTION MUST BE CORRECTED PRIOR TO PERMIT CLOSEOUT.

AS-BUILT BMP'S

- PERMANENT BMP'S PER BMP CERTIFICATE (NO. 21) SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING BMP'S ON-GOING.
- AS-BUILT BMP'S SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- DEPTH CANNOT BE VERIFIED WITHOUT DAMAGING EXISTING INFILTRATION TRENCH SYSTEM.

VEGETATION MANAGEMENT PLAN

- REMOVE ALL DEAD VEGETATION, INCLUDING TREES, BRUSH AND OTHER VEGETATION.
- LIMIT RESIDUAL TREES TO A HEIGHT OF TEN FEET (10') ABOVE BRUSH. BRUSH SHOULD NOT EXCEED ONE-THIRD OF THE TOTAL TREE HEIGHT. IF MORE THAN ONE-THIRD OF THE LIVE CROWN BRUSH IS ABOVE THE TEN FEET HEIGHT, THE TREE SHOULD BE REMOVED.
- USE THE HORIZONTAL SPACING GUIDELINES LISTED FOR BRUSH BELOW. PLEASE SEE SPACING GUIDELINES BELOW FOR STEP SLOPE.
- LIME ALL RESIDUAL TREES TO ACHIEVE A TEN FOOT (10') CLEARANCE FROM ANY PART OF THE HOUSE TO THE TRUNK OF THE TREE. BRUSH SHOULD BE LEFT AFTER LIMBING. THE TREE SHOULD BE REMOVED.
- REMOVE ALL BRUSH, TREES, AND FLAMMABLE MATERIALS FROM UNDER THE DRIP LINE OF RESIDUAL TREES OR TREE GROUPINGS.
- REMOVE ALL FLAMMABLE VEGETATION AND MATERIALS FROM UNDER THE DRIP LINE OF RESIDUAL TREES OR TREE GROUPINGS.
- REMOVE ALL FLAMMABLE VEGETATION AND MATERIALS FROM UNDER THE DRIP LINE OF THE STRUCTURE OR AN OUTBUILDING.
- LIMIT VEGETATION TO SINGLE, WELL-SPACED SPECIMEN PLANTS WITHIN THE FIVE FOOT (5') TO THIRTY FOOT (30') CLEARANCE FROM THE STRUCTURE. BRUSH SHOULD BE THINNED AND MAINTAINED TO THE EXTENT THAT IT CANNOT TRANSFER FIRE TO THE STRUCTURE OR OTHER VEGETATION, CLOSEOUT.

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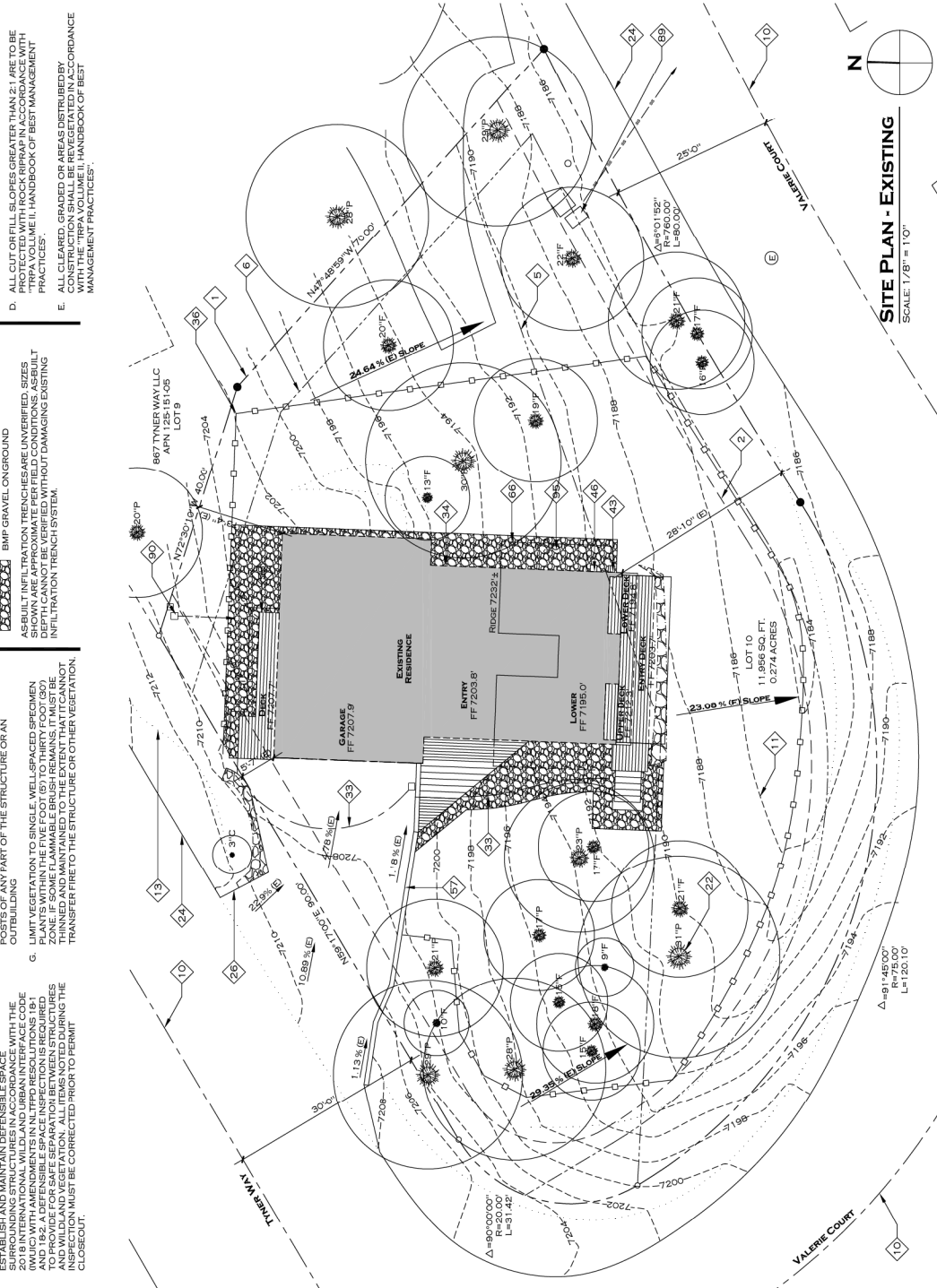
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 CHECKED BY: AS INDICATED
 PROJECT NO.: 2212.00

REFERENCE NOTES

- PROPERTY LINE
- BUILDING SETBACK LINE
- OPEN SPACE EASEMENT LINE
- PUBLIC UTILITY EASEMENT LINE, 7' 6"
- CENTERLINE OF RIGHT-OF-WAY
- CONTOUR LINE, EXISTING, INDICATED DASHED
- TOP OF SLOPE
- TREE, EXISTING TO REMAIN
- EDGE OF TRAVELED WAY
- DRIVEWAY, AC PAVING
- FLOWLINE OF SWALE
- RESIDENCE
- FENCE, EXISTING TO REMAIN
- NATURAL GAS METER
- MAIN PANEL FOR ELECTRICAL SERVICE
- RETAINING WALL
- DECK
- CANTILEVER/ARCHITECTURAL PROJECTION, ABOVE
- ELECTRICAL SERVICE BOX
- WATER METER BOX
- SEWER CLEANOUT

SHEET CONTENTS

EXISTING/DEMOLITION

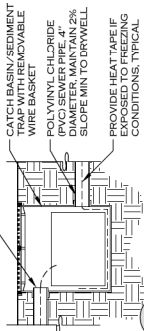


SITE NOTES

- CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK.
- INSTALL SERVICE UTILITIES IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY PROVIDER.
- ELEVATION MARKS INDICATE ELEVATION OF FINISH MATERIAL. VERIFY THICKNESS OF FINISH MATERIAL, BASE COURSE(S), DRAINAGE FILL OR TOPSOIL AND PREPARE SUBGRADE ACCORDINGLY.
- FINISH GRADE TO HAVE A MINIMUM 5% SLOPE OR 6 INCHES OF FILL FROM THE EXISTING FINISH GRADE TO MAINTAIN THIS REQUIREMENT. WATER SHALL BE DIRECTED TO DRAINS OR SWALES TO MAINTAIN DRAINAGE COURSE(S). DRAINAGE FILL OR TOPSOIL SHALL BE SET OFF FROM IMPROVED SURFACES WITHIN 10 FEET OF THE STRUCTURE. SHALL HAVE A MINIMUM OF 2% SLOPE AWAY.
- ALL EXCESS EXCAVATED MATERIAL TO REMAIN ON SITE OWNER, FILLLED AS UNCOMPACTED FILL, AS DIRECTED BY SURVEY DATA TAKEN FROM TOPOGRAPHIC SURVEY DATED, 08 JUNE 2022.
- A REVOCABLE ENCROACHMENT PERMIT IS REQUIRED FOR ANY IMPROVEMENTS TO BE CONSTRUCTED IN THE WASHOE COUNTY HIGHWAY RIGHT-OF-WAY.
- ALL IMPROVEMENTS WITHIN THE WASHOE COUNTY HIGHWAY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE COUNTY CODES AND THE COUNTY STANDARD SPECIFICATIONS AND DETAILS IN EFFECT ON THE DATE OF ISSUANCE OF THE REVOCABLE ENCROACHMENT PERMIT.

1 CATCH BASIN / SEDIMENT TRAP

SCALE: 1/16" = 1'-0"



PROJECT KEYNOTES

- 074113.A. PROVIDE 2% SLOPE AWAY FROM CATCH-BASIN AT GUTTER DOWNSPOUT, PROVIDE HEAT TAPE, TYPICAL.
- 074113.B. PVC DRAINAGE PIPE, 2% SLOPE MIN, CONNECT TO EXISTING DRAINAGE SYSTEM.
- 074113.C. PROVIDE REMOVABLE WIRE BASKET, TYPICAL AT DOWN SPOUTS. SEE DETAIL 1/A.1.2

APPLICATION NOTES

- A NEIGHBORHOOD MEETING IS NOT REQUIRED FOR THIS PERMIT.
- NO EXISTING OR PROPOSED RIGHTS-OF-WAY, STREETS, OR EASEMENTS ARE WITHIN THE PROPOSED DEVELOPMENT.
- NO PORTION OF THE LAND WITHIN THE 50' BUFFER OF THE DEVELOPMENT IS SUBJECT TO INUNDATION OF STORM WATER OVERFLOW.
- NO SNOW STORAGE AREAS FROM PUBLIC STREETS ARE ON THE PROPERTY.
- NO UNKNOWN POTENTIAL HAZARDOUS AREAS OR ACTIVE FAULT LINES ARE ON THE PROPERTY.
- NO WETLANDS OR FLOOD PLAINS ARE ON THE PROPERTY.
- THE PROPOSED PROJECT WILL BE IN COMPLIANCE WITH ALL DEVELOPMENT CODES. THIS APPLICATION WILL ADDRESS THE RESIDENCES PROPOSED ENCROACHMENT INTO THE 50' BUFFER WITHIN THE OPEN SPACE EASEMENT, PARTIALLY WITHIN THE OPEN SPACE EASEMENT.
- THIS PARCEL IS NOT LOCATED WITHIN A SENSITIVE BUFFER ZONE OF A SIGNIFICANT HYDROLOGICAL RESOURCE.
- GRADING CHANGES WILL BE LIMITED TO DRIVEWAY MODIFICATIONS TO PROVIDE SLOPE TO DRAIN.
- NO NEW SLOPES FROM THE PROPERTY BOUNDARY OR STRUCTURE SETBACKS FROM SLOPES ARE PROPOSED.
- TRAFFIC IMPACT REPORT IS NOT REQUIRED, DUE TO NO ADDITIONAL PEAK HOUR WEEKDAY TRIPS ARE PROPOSED.
- LANDSCAPING PLAN NOT REQUIRED.
- IRRIGATION PLANS ARE NOT REQUIRED.
- SIGNAGE PLAN NOT REQUIRED.
- LIGHTING PLAN NOT REQUIRED.

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- SEWER CLEANOUT

SHEET CONTENTS

SITE PLAN

SHEET NUMBER

A1.2

